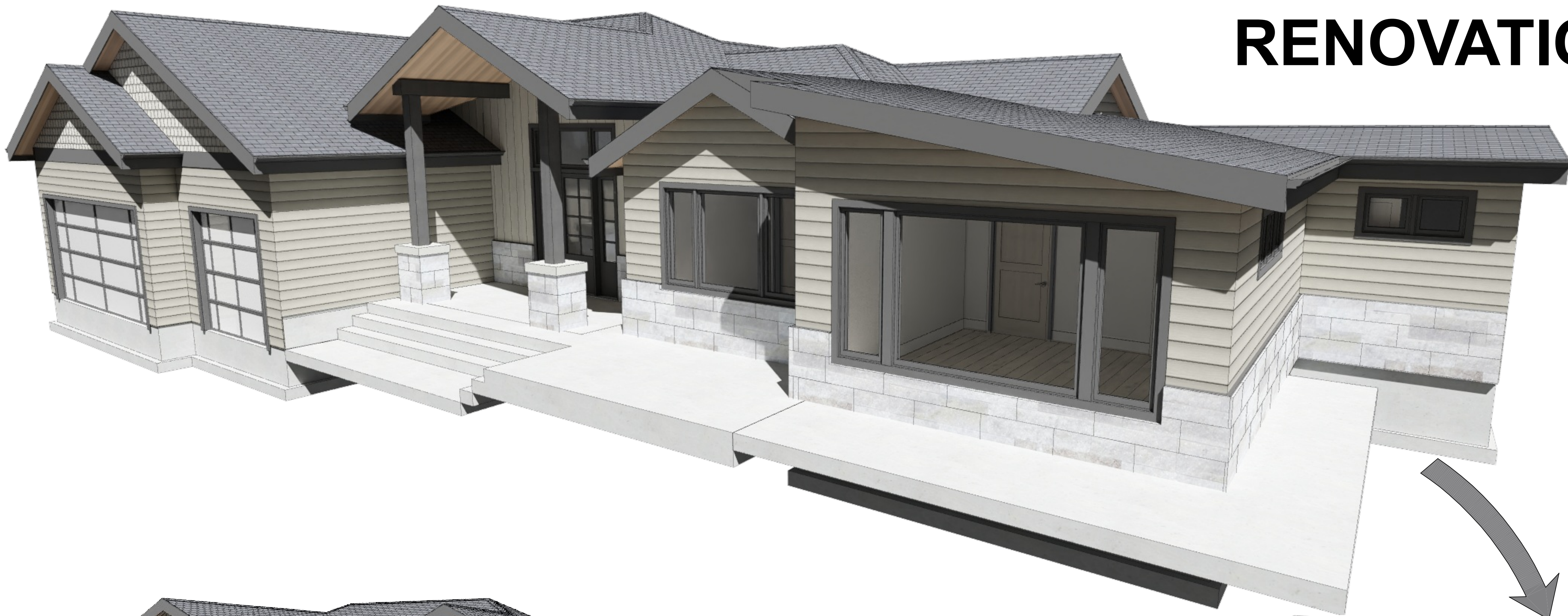
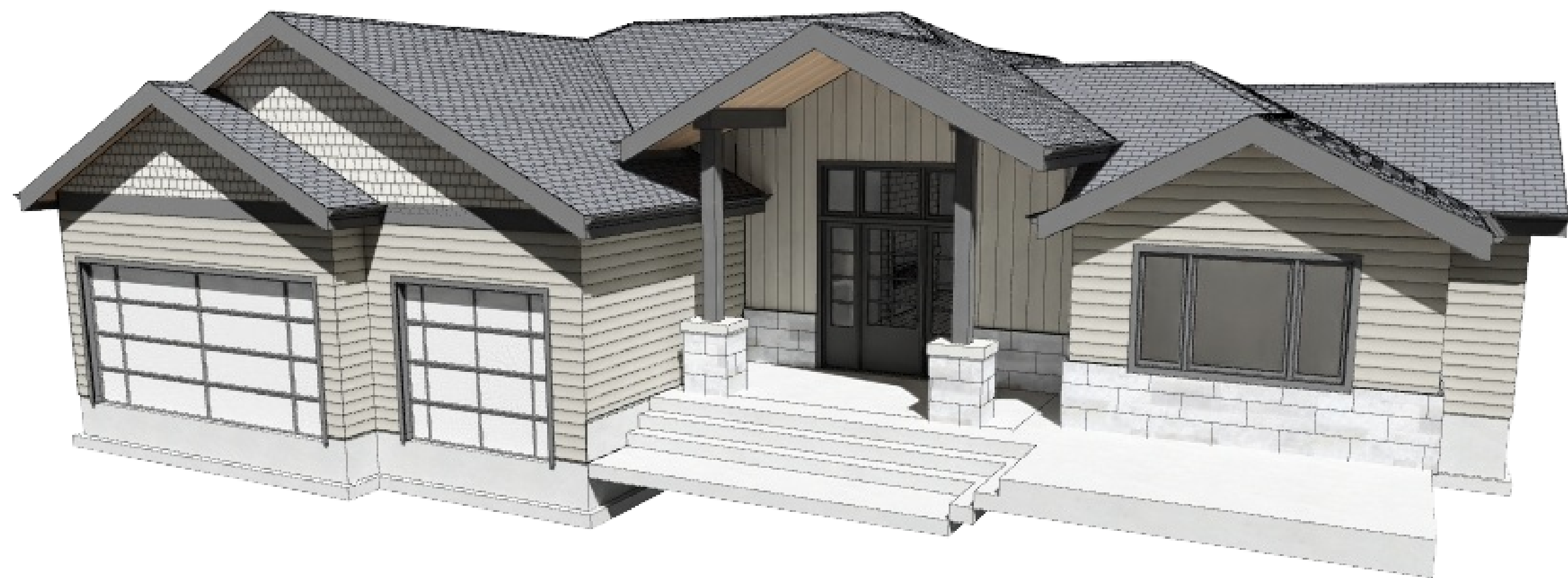
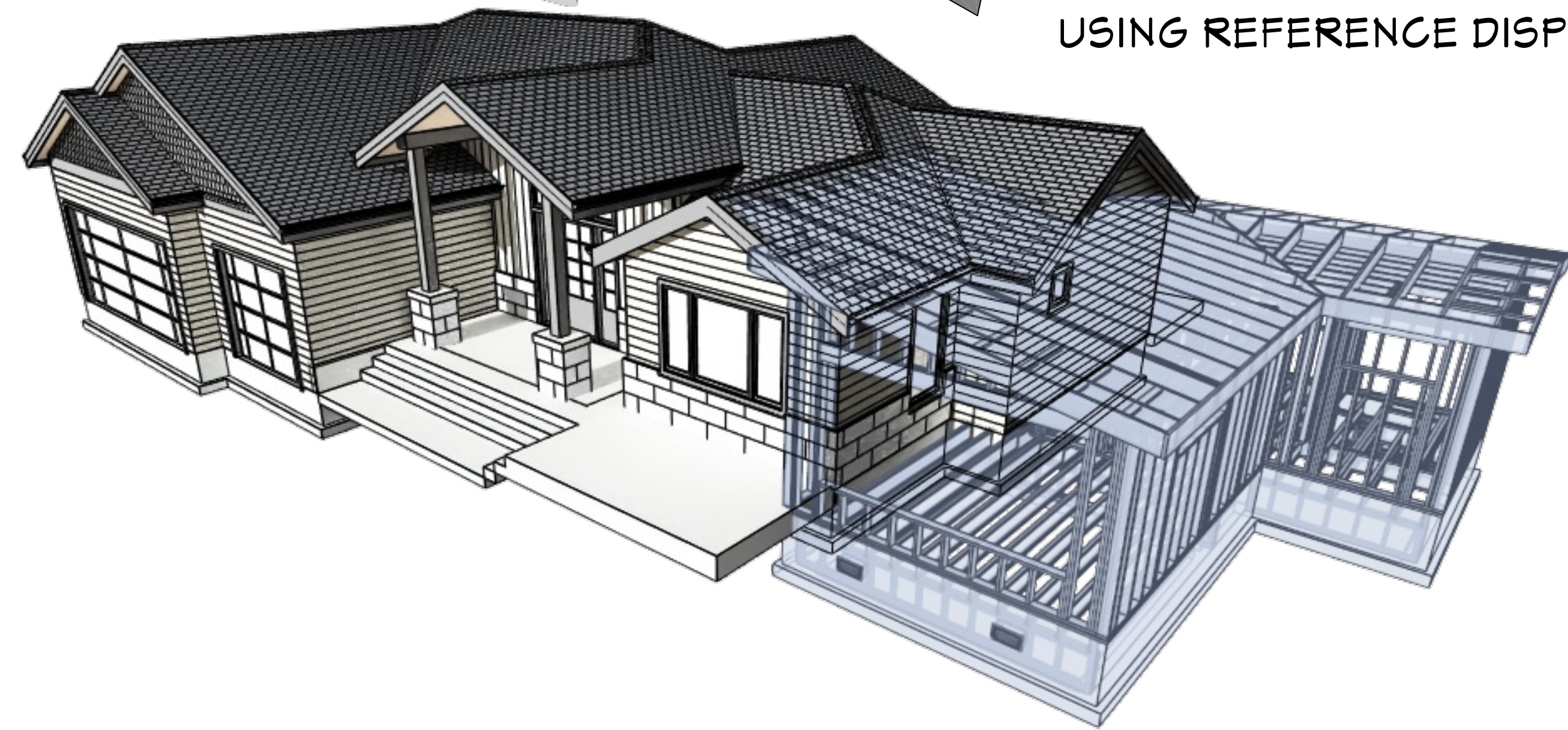




RENOVATION



AS-BUILT



OVERLAY

USING REFERENCE DISPLAY

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GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

RENOVATION CLASS PROJECT

OWNER: _____

PROJECT: CHIEF ARCHITECT RENOVATION SAMPLE PROJECT
ADDRESS: COEUR D'ALENE, IDAHO

LEGAL: _____

FIRE DISTRICT: _____
WATER: _____
SEWER: _____

STORM WATER PERMIT: _____
RETAINING WALL PERMIT: _____
BUILDING PERMIT: _____

DESIGNER: _____
DESIGN CONSULTANT: _____
BUILDER: _____
SITE DISTURBANCE: _____
ENGINEERING: _____

PROJECT SUMMARY
SITE & DISTURBANCE PLAN
AS-BUILT PLAN & ELEVATIONS
PROPOSED FLOOR PLAN
FOUNDATION & FLOOR FRAMING
ELEVATIONS
ROOF PLAN & SECTIONS
KITCHEN, BATH & SCHEDULES

1
2
3
4
5
6
7
8

SHEET NUMBER

1

SCALE @ 24" X 36"

DATE:

DRAWN BY: SH

PROJECT SUMMARY

STREET ADDRESS

RENOVATION CLASS

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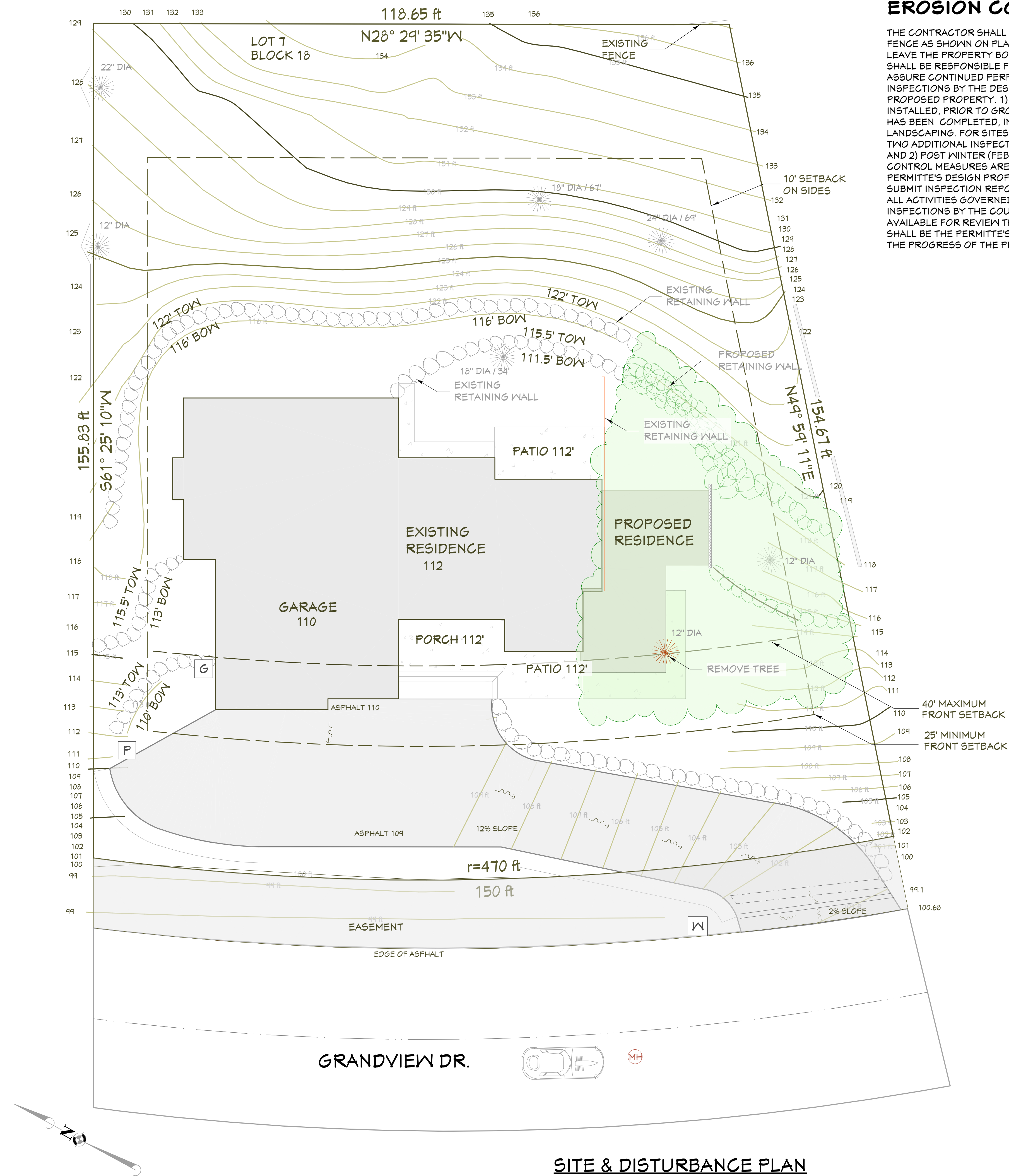
LOT SIZE: 21,170 SQ FT (.486 ACRE)
ANTICIPATED DISTURBED AREA: 2,626 SQ FT
RENOVATION ENVELOPE: 1,129 SQ FT
MAIN:
NEW 579 SQ FT RENO 550 SQ FT

RENO ROOF: 551 SQ FT
RENO FRONT/REAR HEIGHT: 13' 10.6"

SITE SURVEY TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.

MARKED TREES SHALL BE REMOVED PRIOR TO SITE WORK.

CALL BEFORE YOU DIG: 800.428.4950



THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENT CONTROL SILT FENCE AS SHOWN ON PLAN TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROPERTY BOUNDARIES. THE CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SILT FENCE TO ASSURE CONTINUED PERFORMANCE OF ITS INTENDED USE. AT MINIMUM TWO INSPECTIONS BY THE DESIGN PROFESSIONAL ARE REQUIRED FOR THE PROPOSED PROPERTY. 1) AFTER SEDIMENT CONTROL SILT FENCE HAS BEEN INSTALLED, PRIOR TO GROUND DISTURBANCE, AND; 2) AFTER THE PROJECT HAS BEEN COMPLETED, INCLUDING RE-VEGETATION AND/OR PROPOSED LANDSCAPING. FOR SITES WHICH ARE ACTIVE DURING THE WINTER MONTHS, TWO ADDITIONAL INSPECTIONS ARE REQUIRED. 1) PRE WINTER (OCT OR NOV) AND 2) POST WINTER (FEB OR MARCH) TO ENSURE EROSION AND SEDIMENT CONTROL MEASURES ARE INTACT AND FUNCTIONING PROPERLY. THE PERMITTEE'S DESIGN PROFESSIONAL SHALL PERFORM THE INSPECTIONS AND SUBMIT INSPECTION REPORTS TO KOOTENAI COUNTY BUILDING & PLANNING. ALL ACTIVITIES GOVERNED BY THESE REGULATIONS SHALL BE SUBJECT TO INSPECTIONS BY THE COUNTY. AN APPROVED SET OF PLANS MUST BE AVAILABLE FOR REVIEW THROUGHOUT THE DURATION OF THE PROJECT. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO KEEP THE COUNTY NOTIFIED OF THE PROGRESS OF THE PROJECT AND SUBMIT ALL REQUIRED INSPECTIONS.

●

DATE:

151:10

SITE & DISTURBANCE PLAN

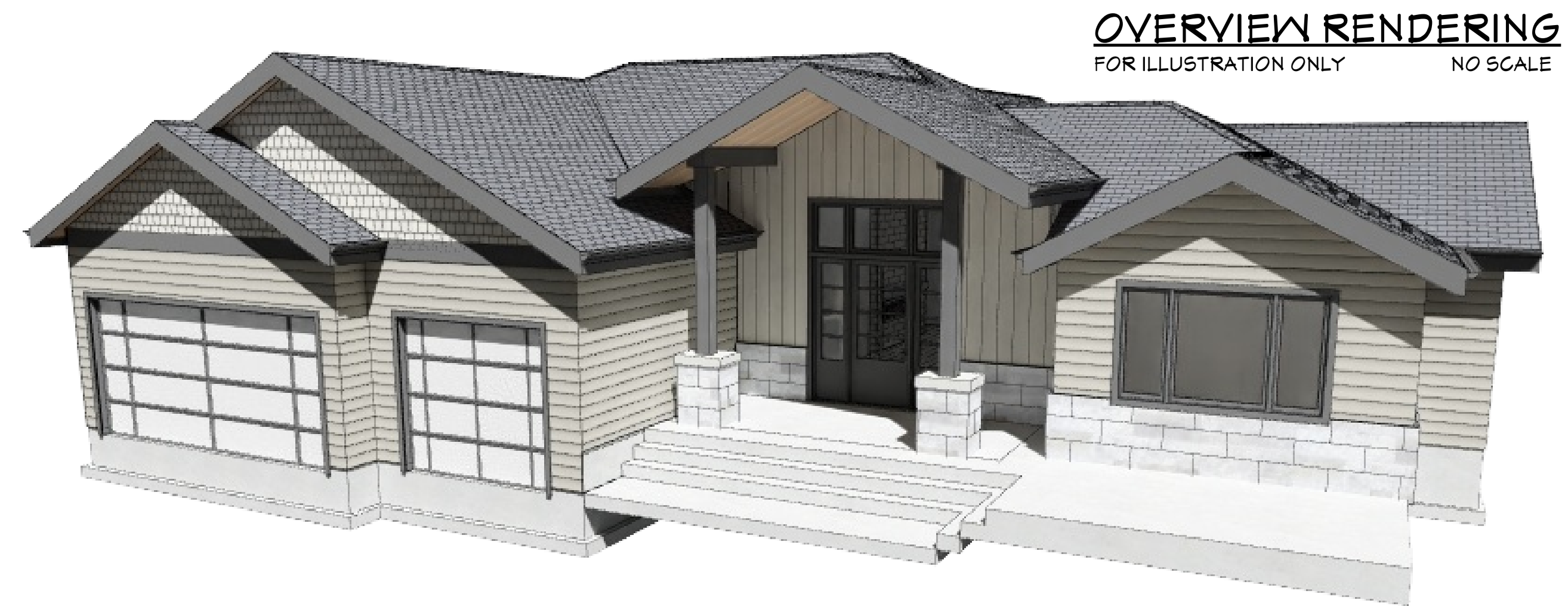
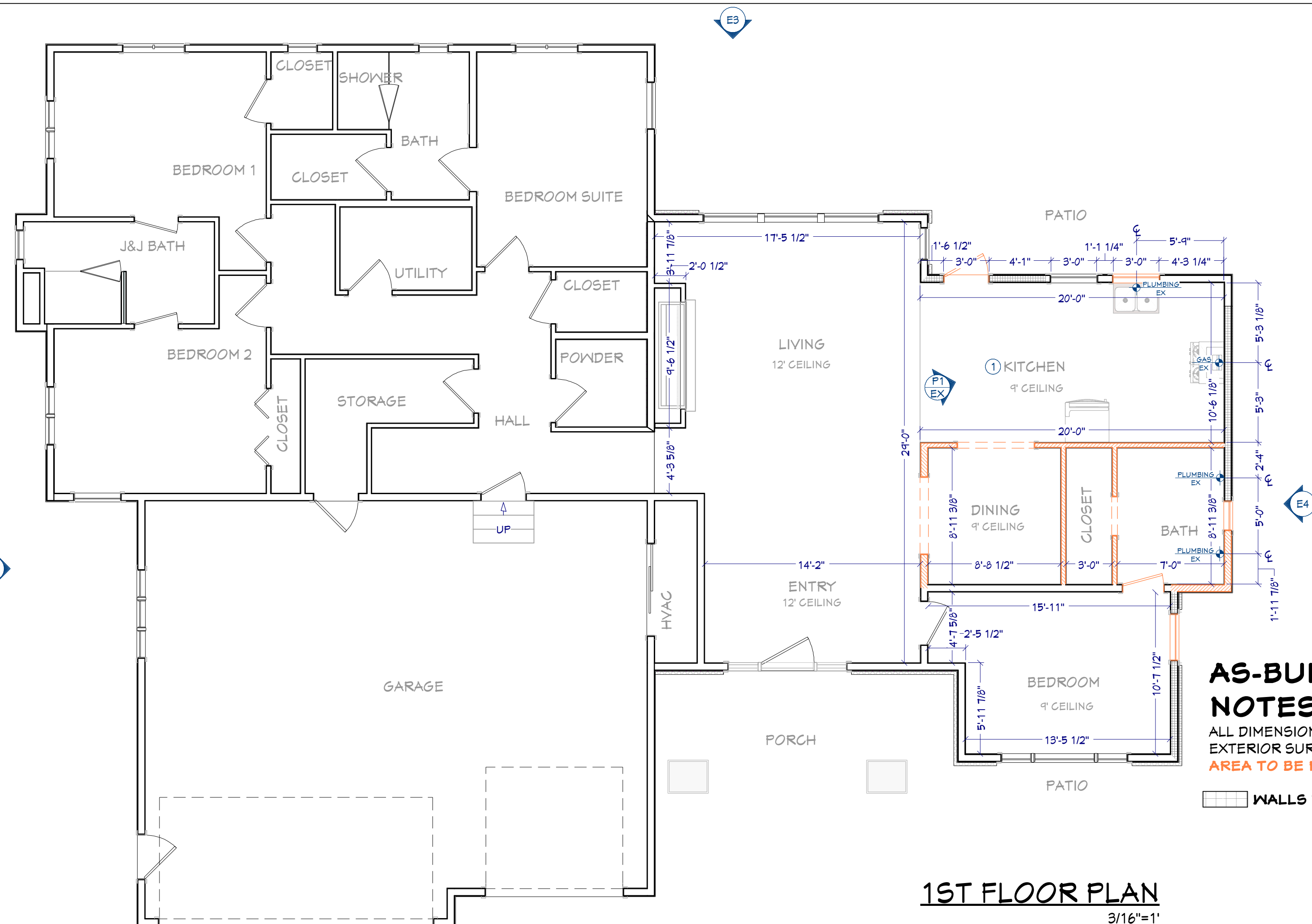
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OVERVIEW RENDERING
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P1 EXISTING KITCHEN
NO SCALE



FRONT ELEVATION
3/16"=1'



SOUTH ELEVATION
3/16"=1'



REAR ELEVATION
3/16"=1'



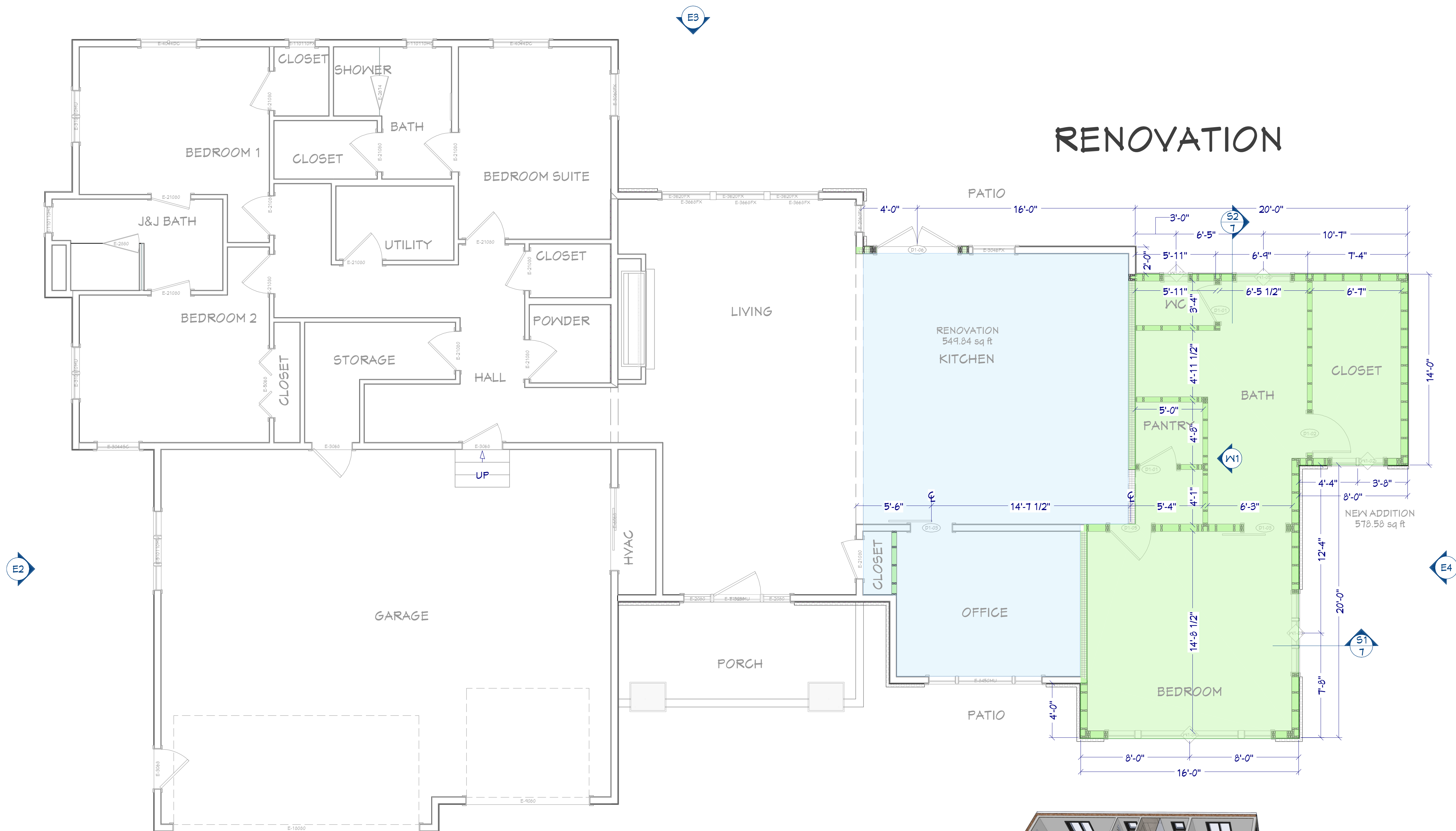
NORTH ELEVATION
3/16"=1'

SHEET NUMBER
3

SCALE @ 24" X 36"
DATE:
DRAWN BY: SH

AS-BUILT PLAN & ELEVATIONS

STREET ADDRESS
RENOVATION CLASS



1ST FLOOR PLAN
1/4"=1'

Remodel Footprint (Materials List Polyline)				
Footprint	Remodel Type	Area, Standard	Floor	Description
	RENOVATION 549.84 SQ FT	549.84	1	MATERIALS LIST POLYLINE
	NEW ADDITION 578.58 SQ FT	578.58	1	MATERIALS LIST POLYLINE
TOTALS:		1128.42		

Remodeled Rooms				
Room Shape	Room	Floor	Ceiling Height	Interior sq. ft.
	CLOSET	1	10' 1 1/8"	9.64
	OFFICE	1	10' 1 1/8"	142.46
	KITCHEN	1	10' 1 1/8"	342.43
TOTALS:				545.03

New Addition Rooms				
Room Shape	Room	Floor	Ceiling Height	Interior sq. ft.
	BATH	1	10' 1 1/8"	147.07
	BEDROOM	1		219.37
	CLOSET	1	10' 1 1/8"	84.5
	PANTRY	1	10' 1 1/8"	22.53
	HALL	1	10' 1 1/8"	20.75
	W.C.	1	10' 1 1/8"	18.46
TOTALS:				513.16

- NEW CONSTRUCTION
- REMODEL CONSTRUCTION
- REMODEL WALLS



OVERVIEW RENDERING
AS-BUILT WITH RENOVATION OVERLAY NO SCALE

- FLOOR PLAN NOTES:**
1. ALL EXTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

SHEET NUMBER
4

SCALE @ 24" X 36"
DATE:
DRAWN BY: SH

PROPOSED FLOOR
PLAN

STREET ADDRESS
RENOVATION CLASS

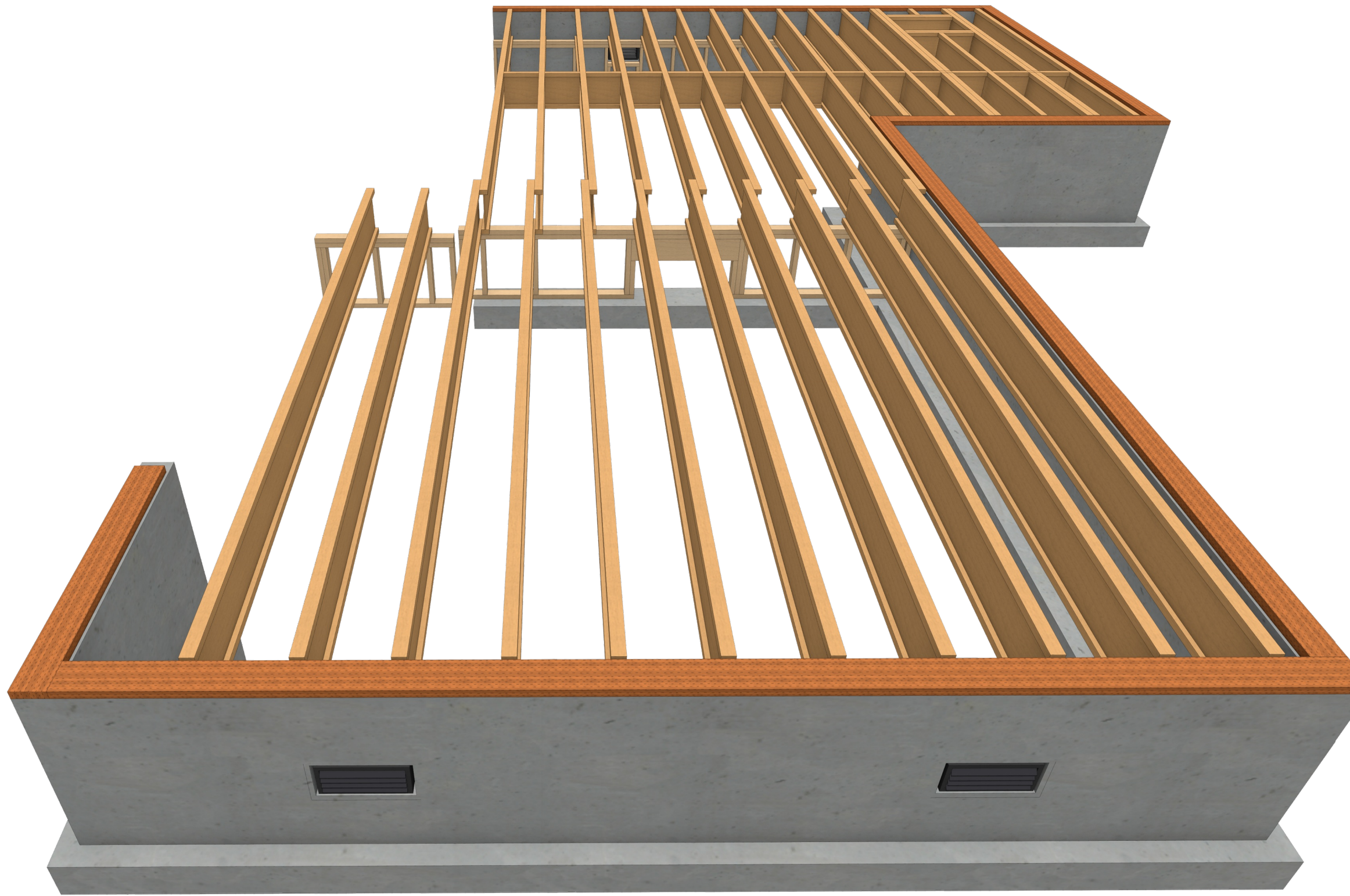
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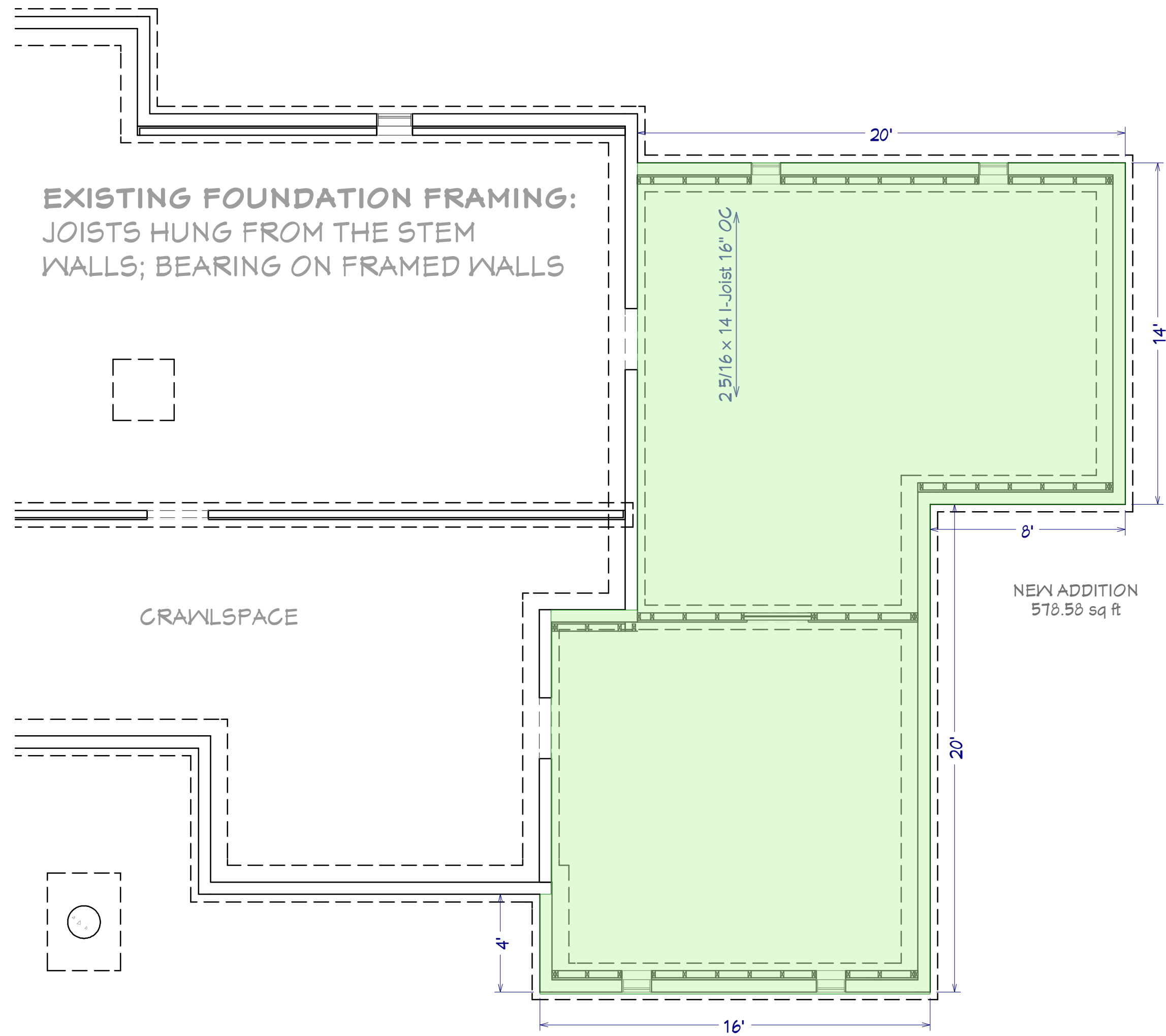
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FOUNDATION NOTES

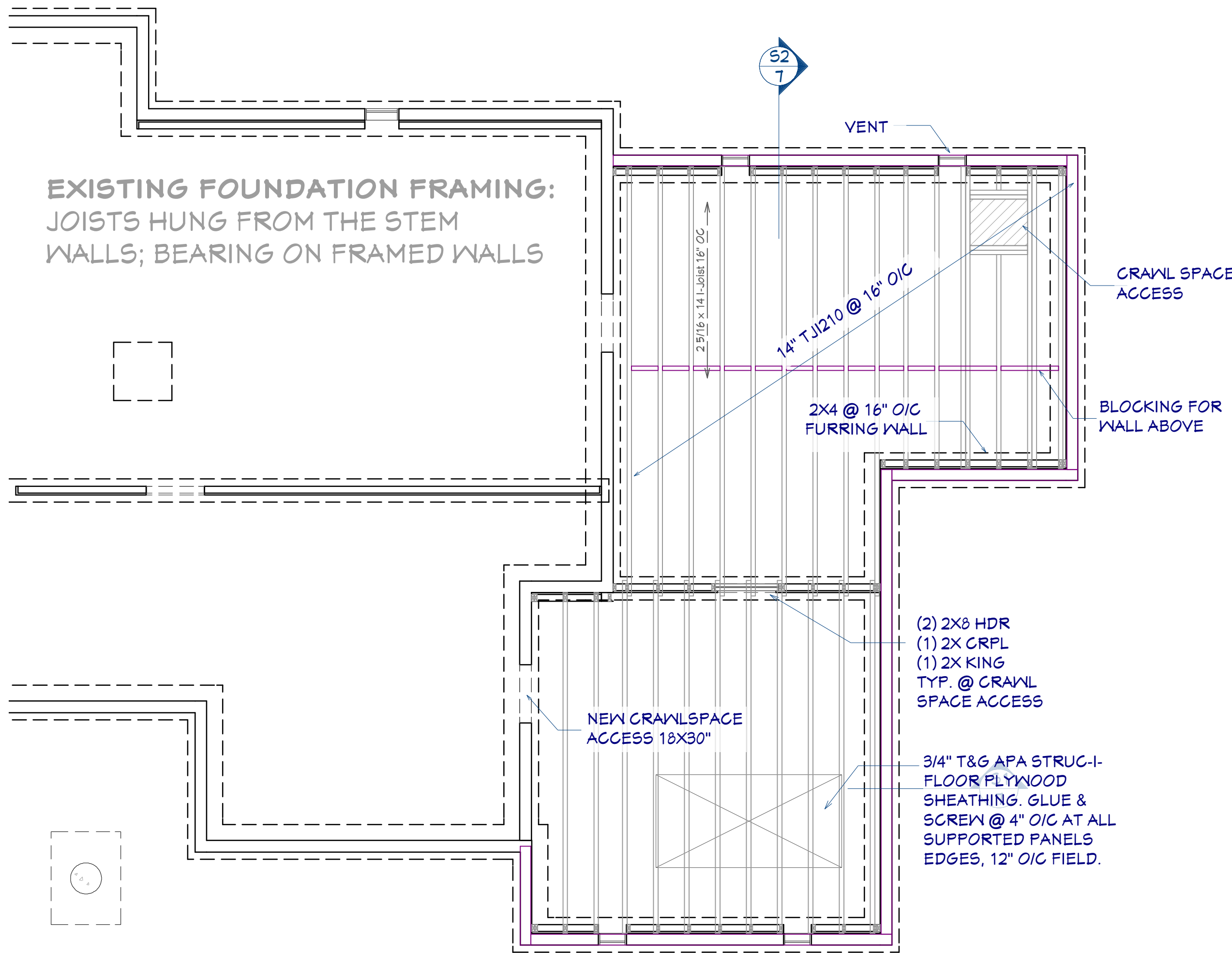
- 1. FOUNDATIONS TO BEAR A MINIMUM OF 24" BELOW FINISH GRADE
- 2. ALL ANCHOR BOLTS TO BE 5/8" DIA X 10' @ 32" O/C UNO.
- 3. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60.
- 4. ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES.
- 5. PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL.
- 6. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI AT 26 DAYS. MAXIMUM AGGREGATE SIZE IS 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2.
- 7. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF (UBC TYPE 4 SOIL). IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED.
- 8. ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS.
- 9. UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT.
- 10. THE TOPS OF FOUNDATION WALLS SHALL EXTEND 6" ABOVE THE ADJACENT FINISH GRADE
- 11. MINIMUM 18" CLEARANCE FOR WOOD JOIST GIRDERS REQUIRED IN THE CRAWL SPACE UNLESS TREATED WOOD IS USED THROUGHOUT FLOOR SYSTEM



OVERVIEW RENDERING
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FOUNDATION PLAN
1/4"=1'



FLOOR FRAMING PLAN
1/4"=1'

SHEET NUMBER
5

SCALE @ 24" X 36"
DATE:
DRAWN BY: SH

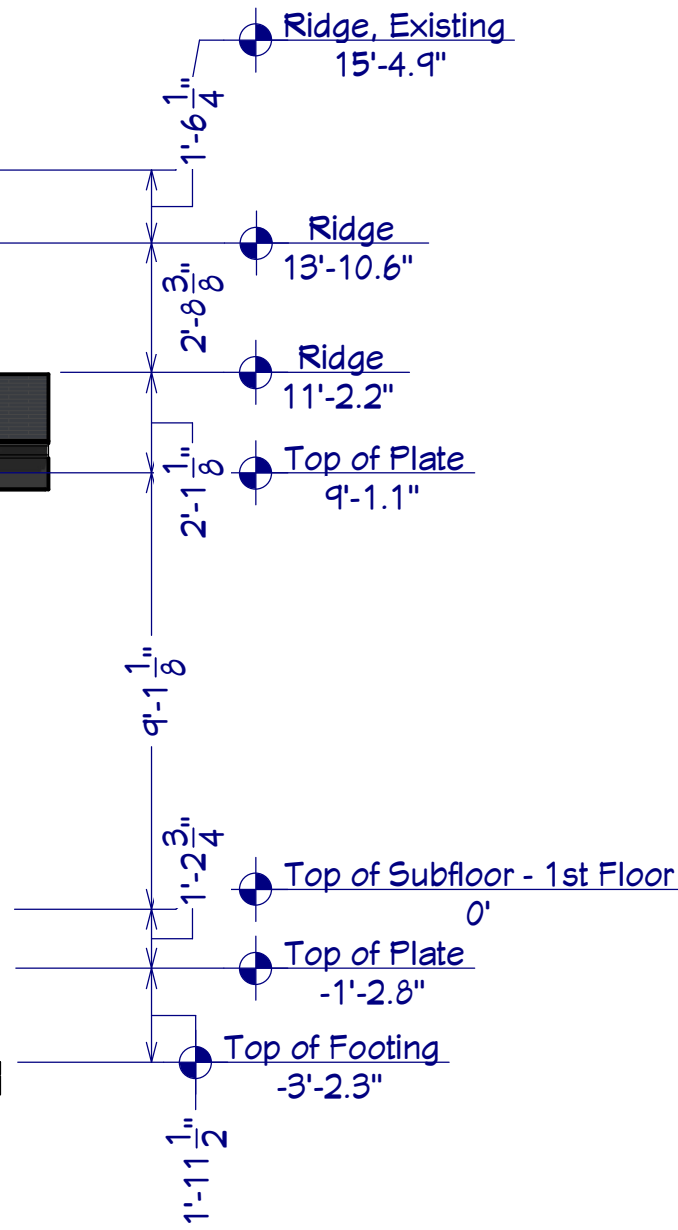
FOUNDATION &
FLOOR FRAMING

STREET ADDRESS
RENOVATION CLASS

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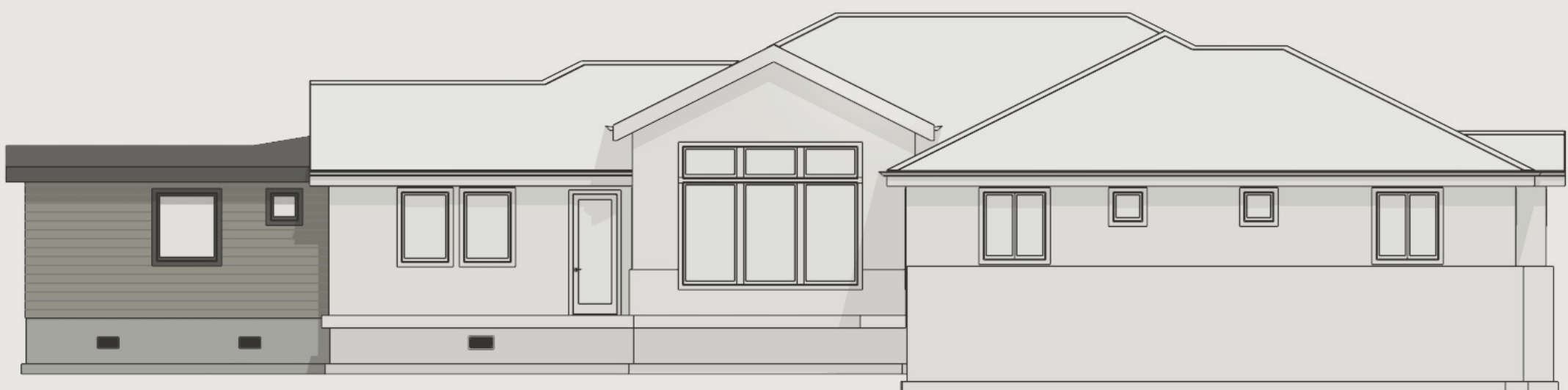
RENOVATION FRONT ELEVATION
1/4"=1'



EXTERIOR NOTES	
①	STONE TO MATCH EXISTING
②	LAP SIDING TO MATCH EXISTING
③	ROOFING TO MATCH EXISTING



RENOVATION REAR ELEVATION
1/4"=1'



OVERLAY ELEVATIONS
1/8"=1'



RENOVATION SIDE ELEVATION
1/8"=1'

SHEET NUMBER
6

SCALE @ 24" X 36"
DATE:
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ELEVATIONS

STREET ADDRESS
RENOVATION CLASS

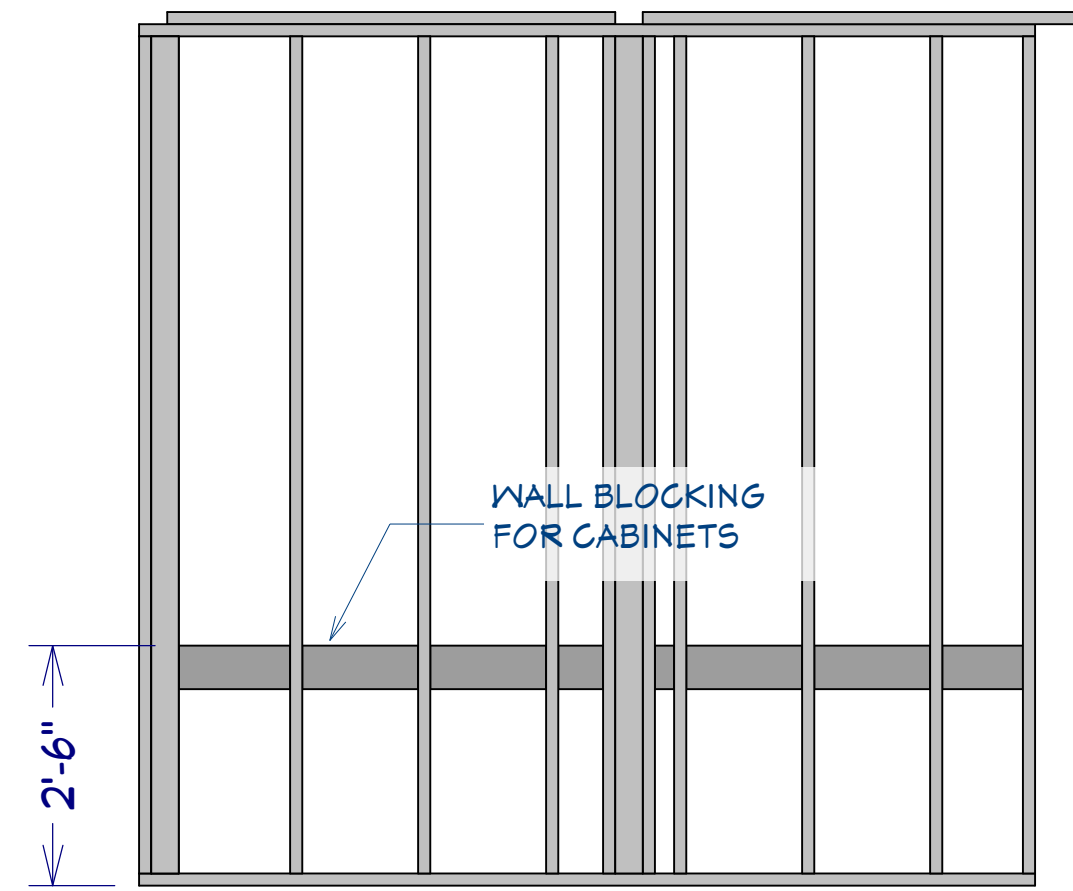
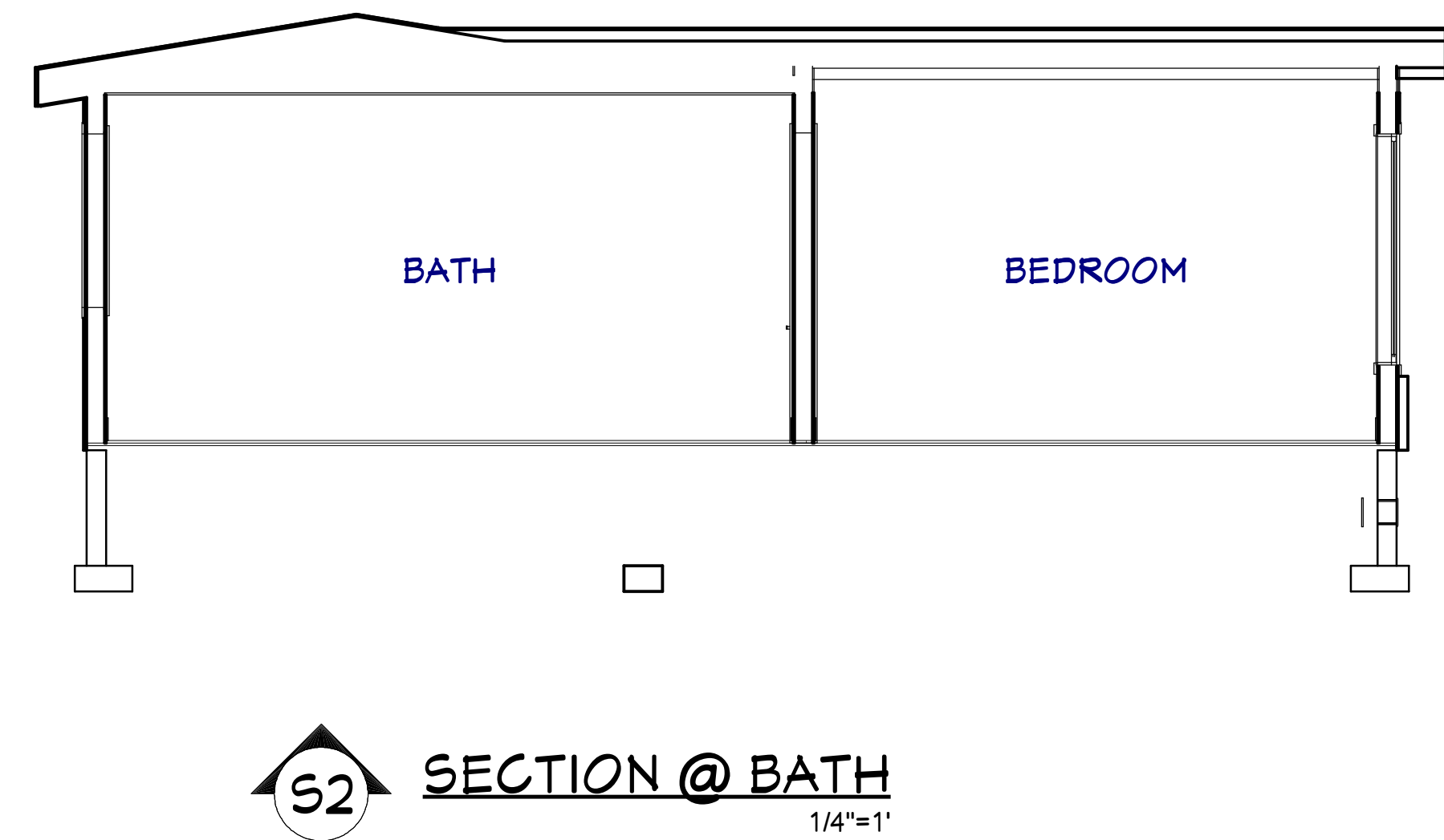
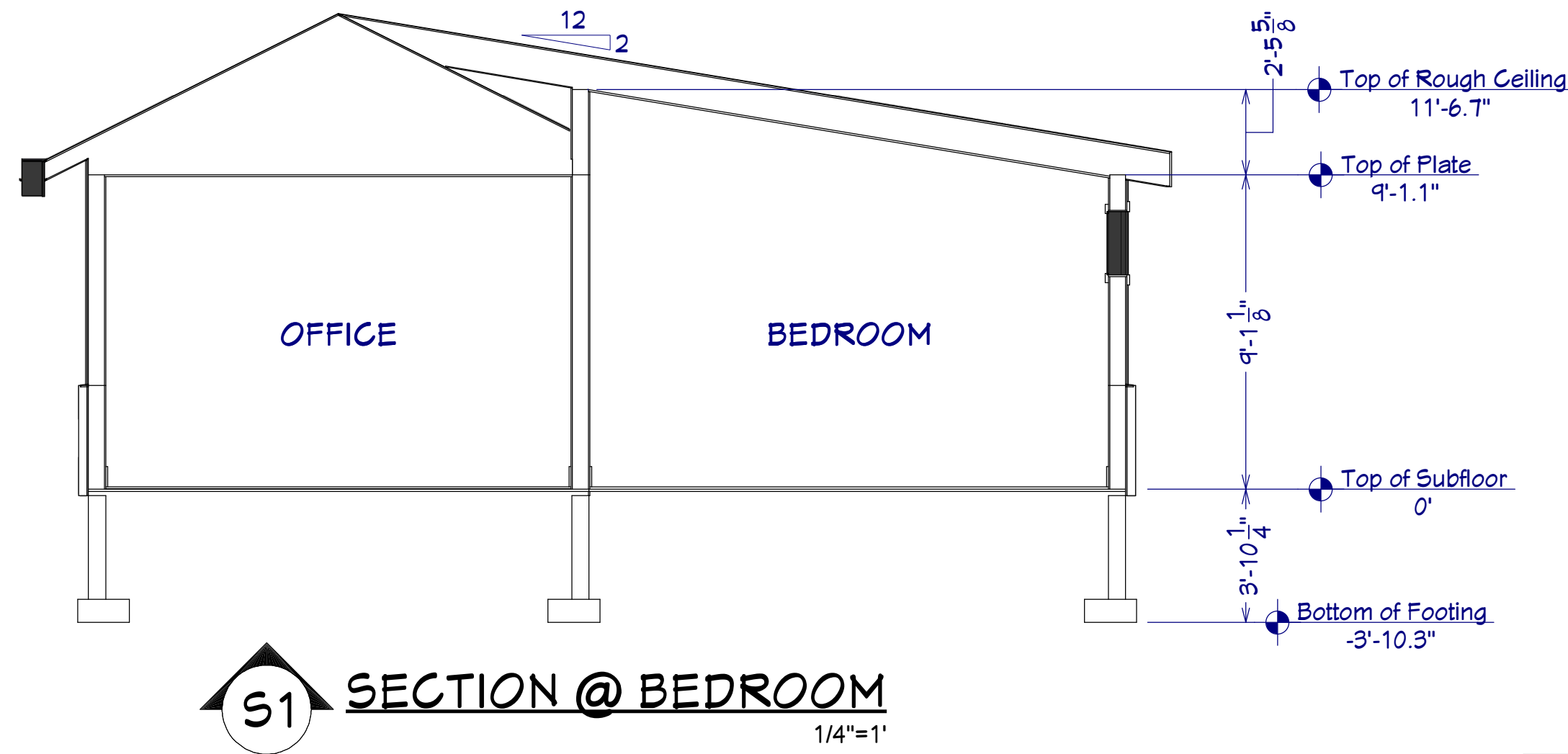
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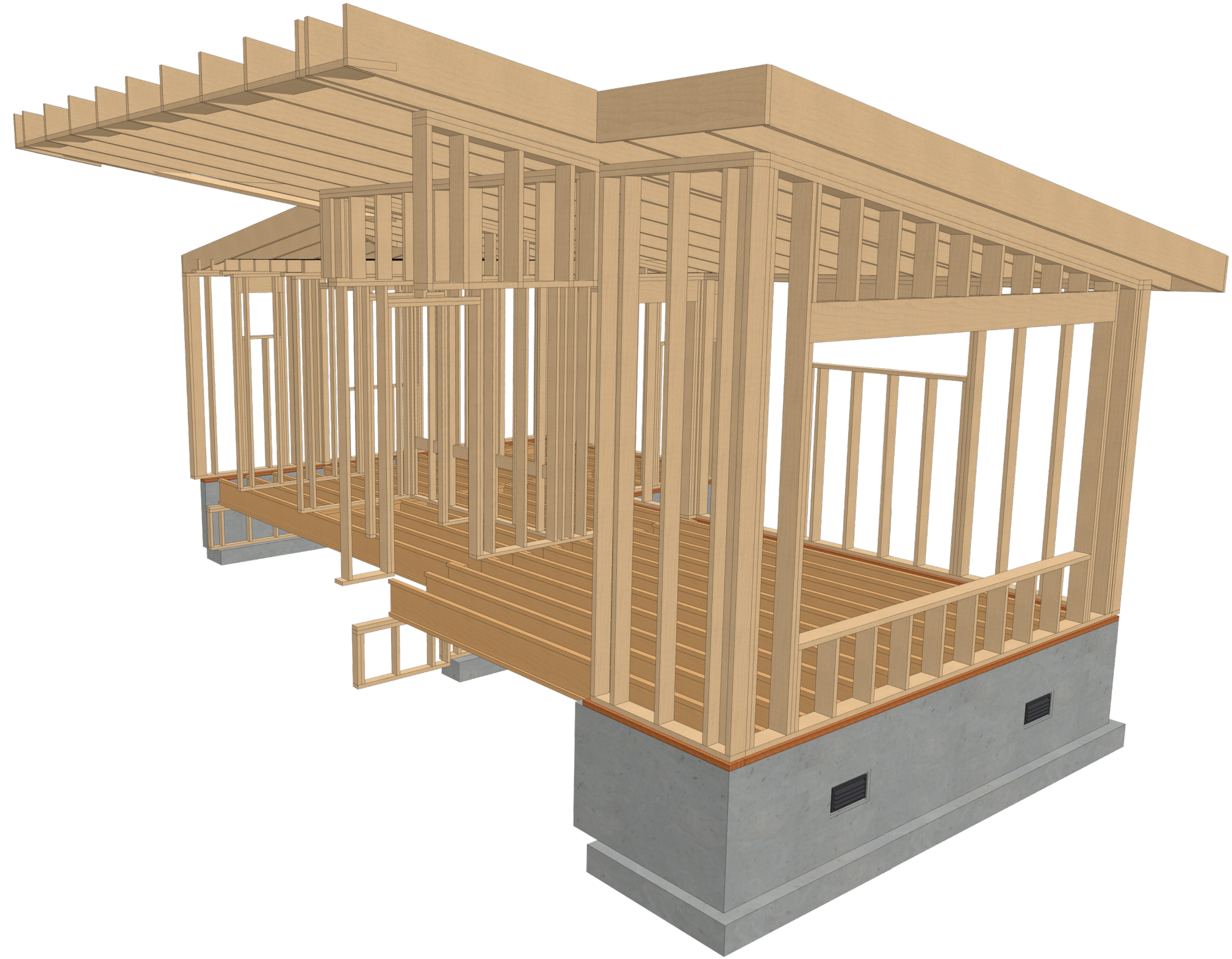
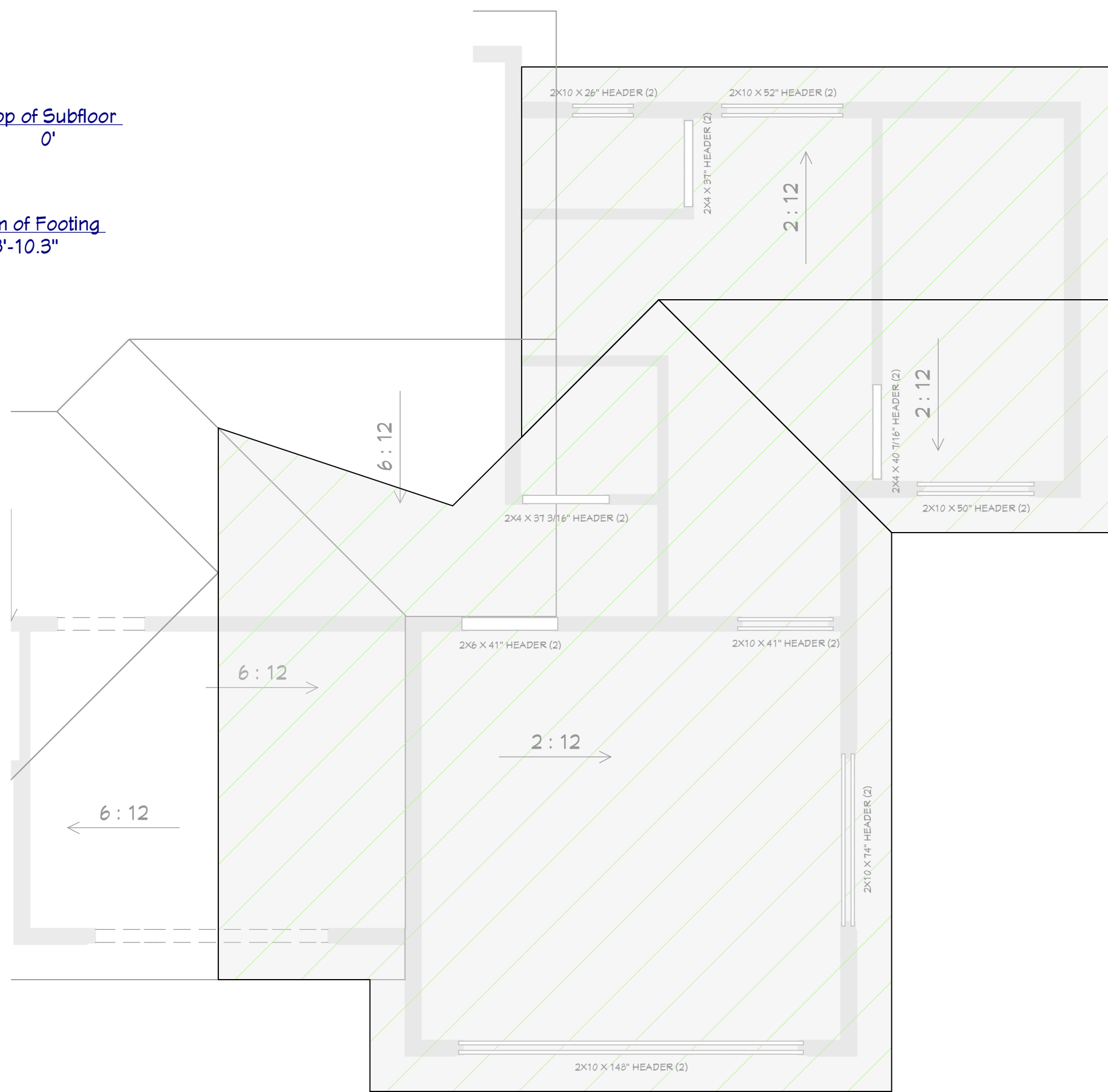
ROOF FRAMING NOTES:

COMBINATION HAND FRAME AND TRUSS FRAMING FOR ROOF

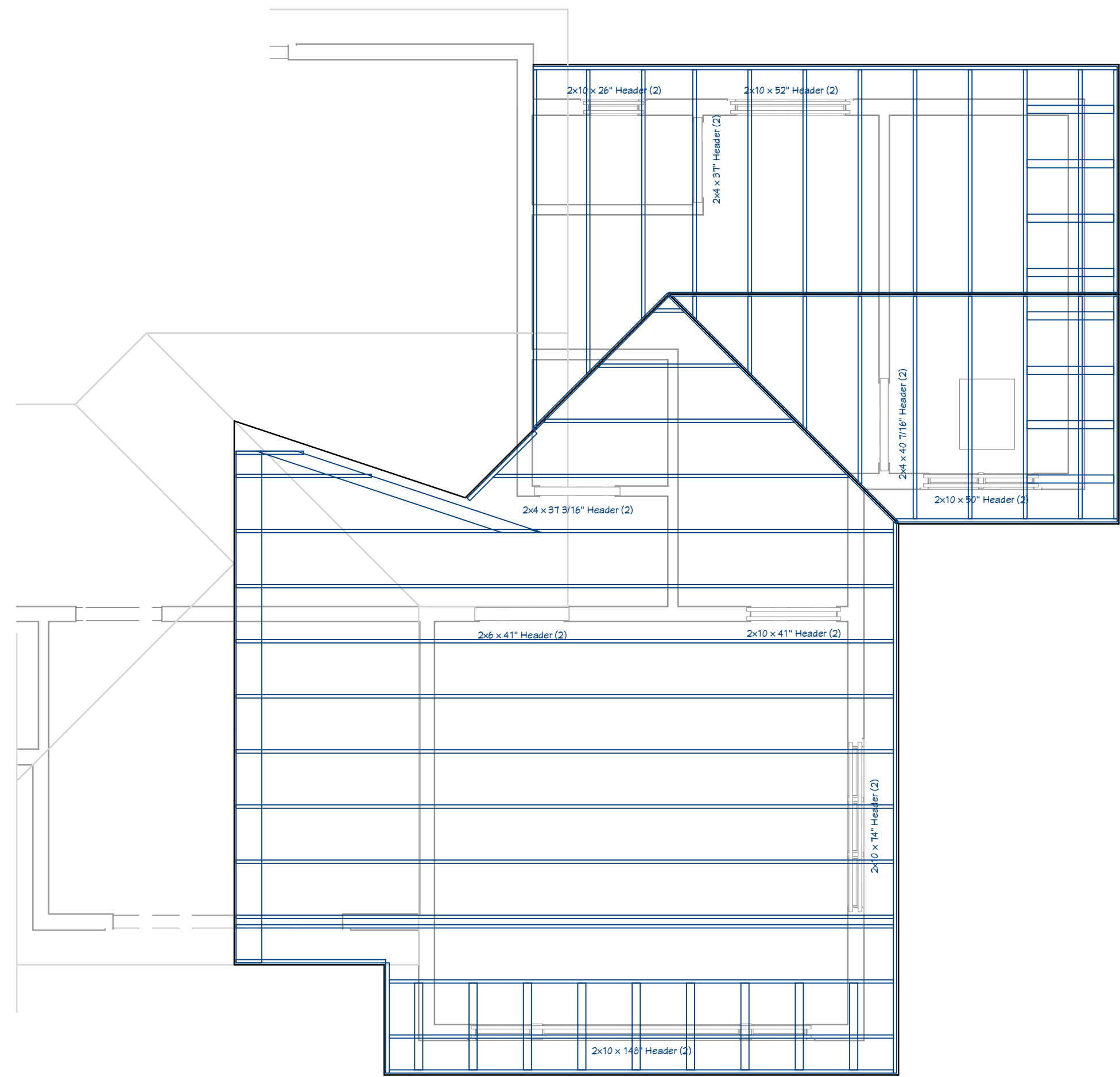
1. FRAMING DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURER'S DRAWINGS & SPECIFICATIONS
2. ALL TRUSSES SHALL CARRY MANUFACTURER'S STAMP
3. TRUSSES SHALL NOT BE FIELD ALTERED WITHOUT PRIOR ENGINEERING APPROVAL
4. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
5. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER
6. ALL ROOF FRAMING 24" O.C. UNO
7. ALL ROOF OVERHANGS 16" UNO
8. INSTALL ICE SHIELD AS REQUIRED
9. INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
10. ATTIC VENTILATION: REQUIRED ABOVE HOUSE
11. ROOF VENTING HIGH/LOW
12. ZONE 'B'. MIN. LOAD SHALL BE 50 LBS PER SQUARE FOOT
13. WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO
14. ROOF SHEATHING 15/32" OSB OR 1/2" PLYWOOD 32/16 APA RATED W/ 8d @ 6" O/C ALL SUPPORTED PANEL EDGES, 12" O/C FIELD
15. ROOF TRUSS / JOIST MANUFACTURER:



Framing Schedule				
Number	Name	Qty	Nominal	Length
T01	Bottom Plate	1	2x4	112"
T02	Stud	13	2x4	104 5/8"
T03	Top Plate	1	2x4	112"
T04	Topmost Plate	1	2x4	54 1/2"
T05	Topmost Plate	1	2x4	56"
T06	Wall Bridging	1	2x6	105 1/2"



FRAMING OVERVIEW
FOR ILLUSTRATION ONLY NO SCALE



SHEET NUMBER
7

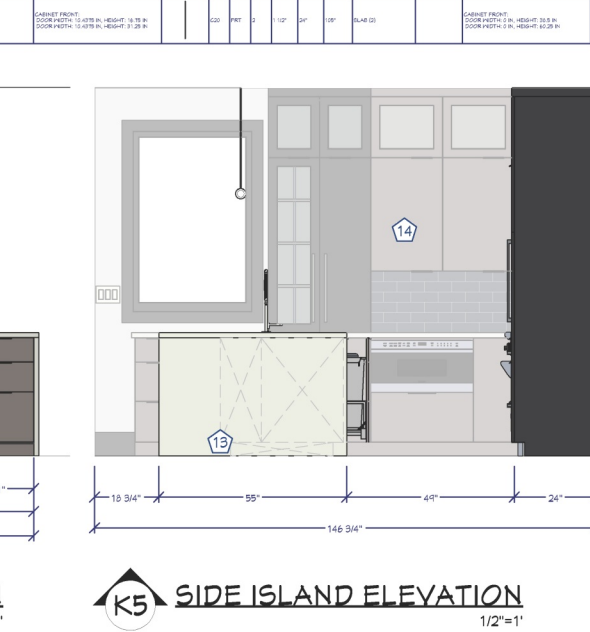
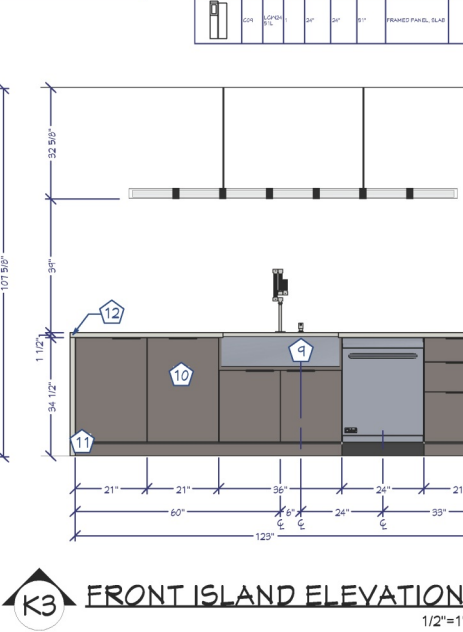
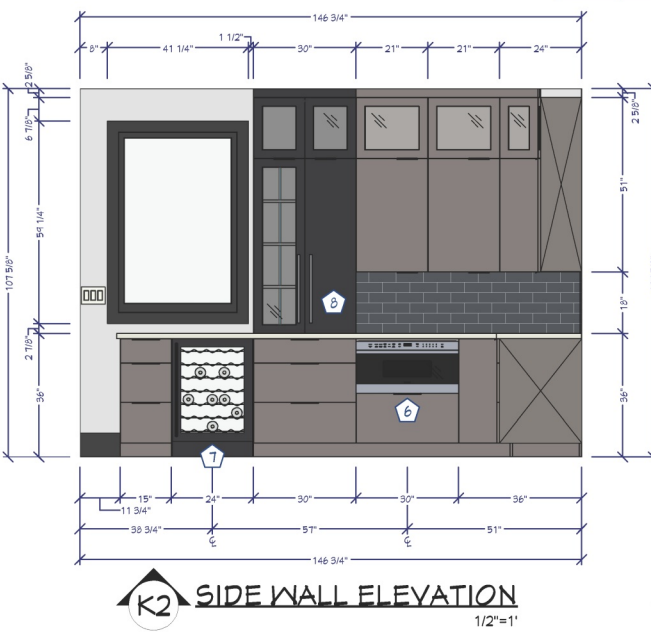
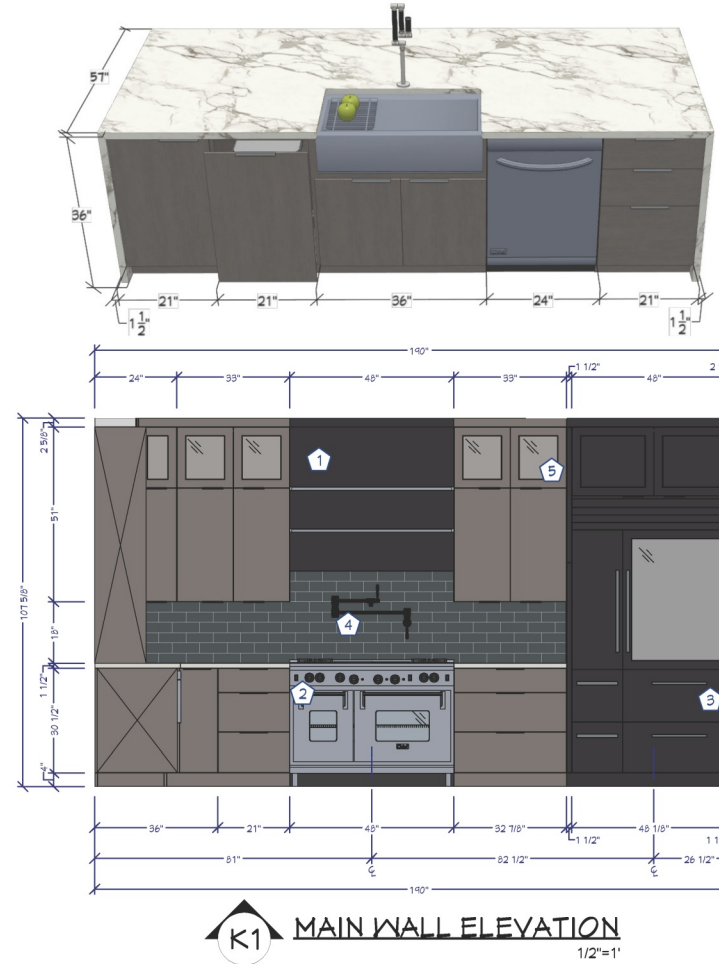
SCALE @ 24" X 36"
DATE:
DRAWN BY: SH

ROOF PLAN &
SECTIONS

STREET ADDRESS
RENOVATION CLASS

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- KITCHEN & CABINET NOTES:**
1. ALL CABINETS FRAMELESS, MAPLE OR ALDER
 2. CONFIRM FINISH & STAINPANT WITH CLIENT PRIOR TO ORDERING
 3. CONFIRM DOOR & DRAWER STYLES WITH CLIENT PRIOR TO ORDERING
 4. INSTALL HARDWARE ON SITE
 5. INSTALL CROWN MOLDING ON SITE, CONFIRM PROFILE AND DIMENSION WITH HOME OWNER
 6. CABINET SUPPLIER RESPONSIBLE FOR FINAL MEASUREMENTS & CABINET OPENINGS FOR APPLIANCE SPECIFICATIONS
 7. ALL APPLIANCES TO BE ON INDICATED CIRCUITS, UNLESS REFER TO APPLIANCE SPECIFICATIONS FOR APPROPRIATE REQUIREMENTS
 8. USE 1/2" SLOOT FOR HOODS, CONFIRM HOOD IS NOT CHIMNEY
 9. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH CLIENT PRIOR TO ORDERING
 10. ALL DRAWERS TO BE TONGUE & GROOVE, GLIDES TO BE SOFT CLOSE
 11. LED STRIP LIGHTS FOR MAIN CABINETS AND ISLAND
 12. UNDERCOUNTER SPOKE ELECTRICAL PLUGS
 13. COUNTER FABRICATION, CONFIRM ALL TEXTURE MEASUREMENTS AND CENTERLINES
 14. GLASS IN CABINET DOORS PER PLAN

- KITCHEN KEY NOTES**
1. CUSTOM COOK HOOD
 2. GAS COOK RANGE
 3. REF PANELED
 4. HOT FILLER
 5. STD. TEMPERED GLASS
 6. PAN PULLOUT DRAWER
 7. VINE REF.
 8. COFFEE STATION, 19"
 9. FAUCET & SOAP DISPENSER
 10. WHITE PULLOUT
 11. TIE HOLED
 12. BUTT JOINT
 13. HIDDEN LINE UP CABINET BOXES
 14. DEPTH GUESS SETTING IN 30" TO FACE BACK WALL
 15. POPUP VENTILATION

APPLIANCE SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY
1	COOK HOOD	1
2	GAS COOK RANGE	1
3	REF	1
4	HOT FILLER	1
5	STD. TEMPERED GLASS	1
6	PAN PULLOUT DRAWER	1
7	VINE REF.	1
8	COFFEE STATION	1
9	FAUCET & SOAP DISPENSER	1
10	WHITE PULLOUT	1
11	TIE HOLED	1
12	BUTT JOINT	1
13	HIDDEN LINE UP CABINET BOXES	1
14	DEPTH GUESS SETTING IN 30" TO FACE BACK WALL	1
15	POPUP VENTILATION	1

CABINET SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY
1	COOK HOOD	1
2	GAS COOK RANGE	1
3	REF	1
4	HOT FILLER	1
5	STD. TEMPERED GLASS	1
6	PAN PULLOUT DRAWER	1
7	VINE REF.	1
8	COFFEE STATION	1
9	FAUCET & SOAP DISPENSER	1
10	WHITE PULLOUT	1
11	TIE HOLED	1
12	BUTT JOINT	1
13	HIDDEN LINE UP CABINET BOXES	1
14	DEPTH GUESS SETTING IN 30" TO FACE BACK WALL	1
15	POPUP VENTILATION	1

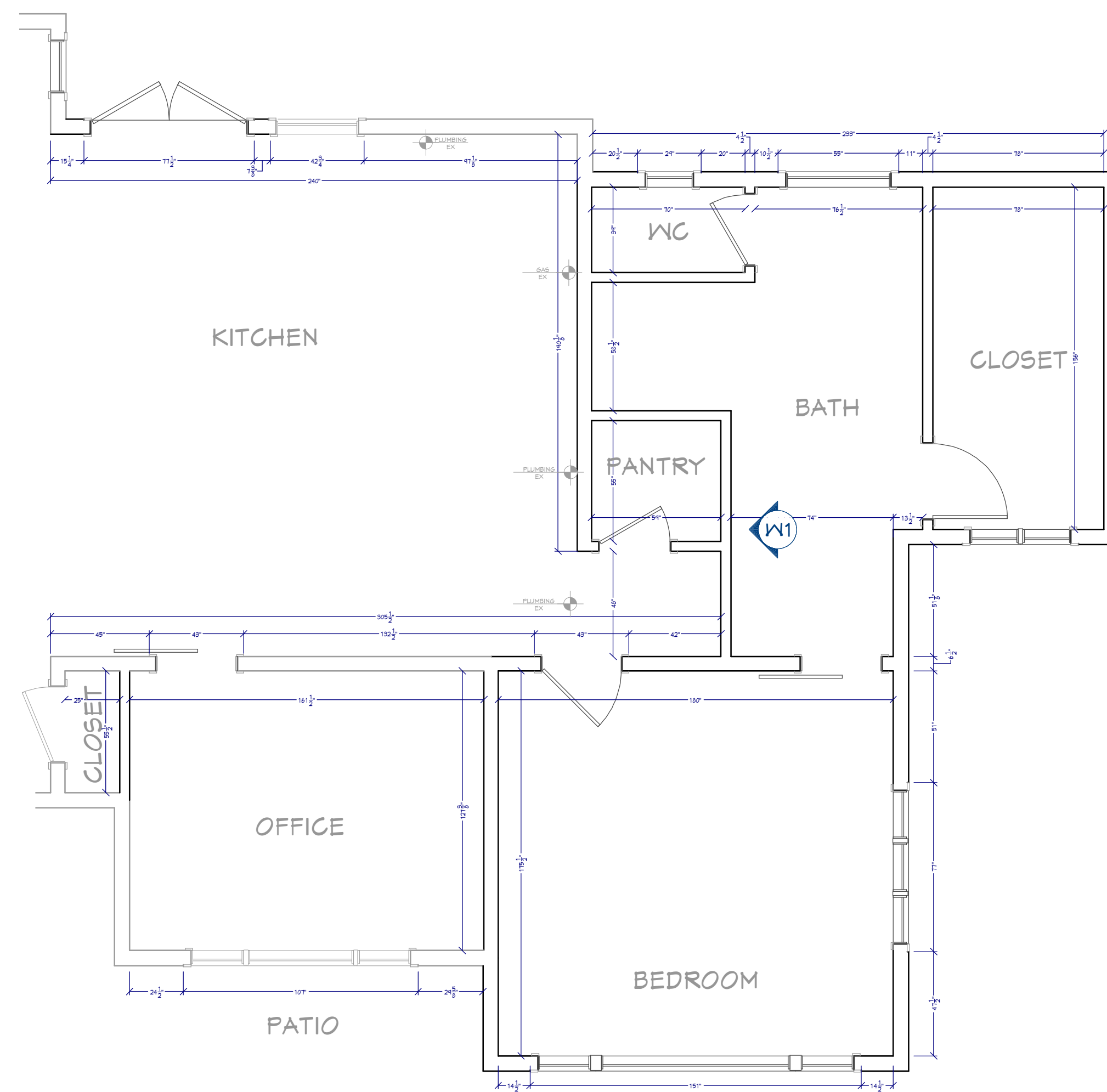
SHEET NUMBER
18

SCALE @ 24" X 36"
DATE:
DRAWN BY: SH

KITCHEN PLAN & ELEVATIONS

1910 E GRANDVIEW DR.
PEAK RENOVATION

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KITCHEN / BATH PLAN
1/4"=1'

SHEET NUMBER

8

SCALE @ 24" X 36"

DATE:

DRAWN BY: SH

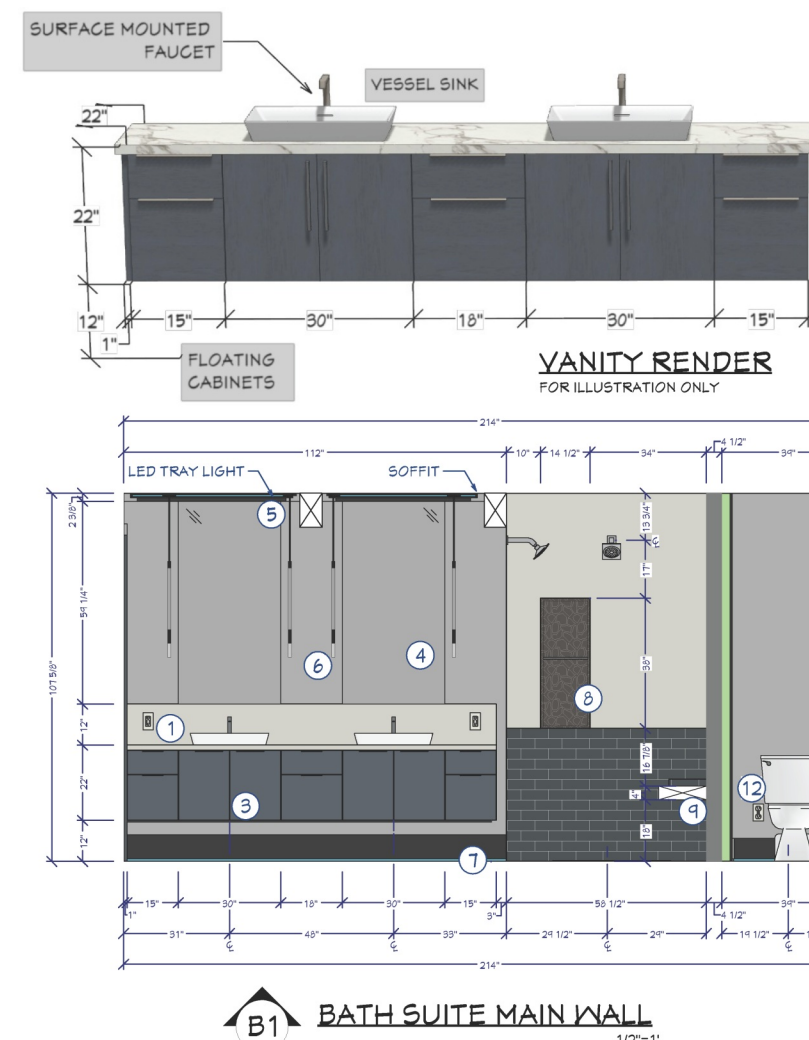
KITCHEN, BATH & SCHEDULES

STREET ADDRESS

RENOVATION CLASS

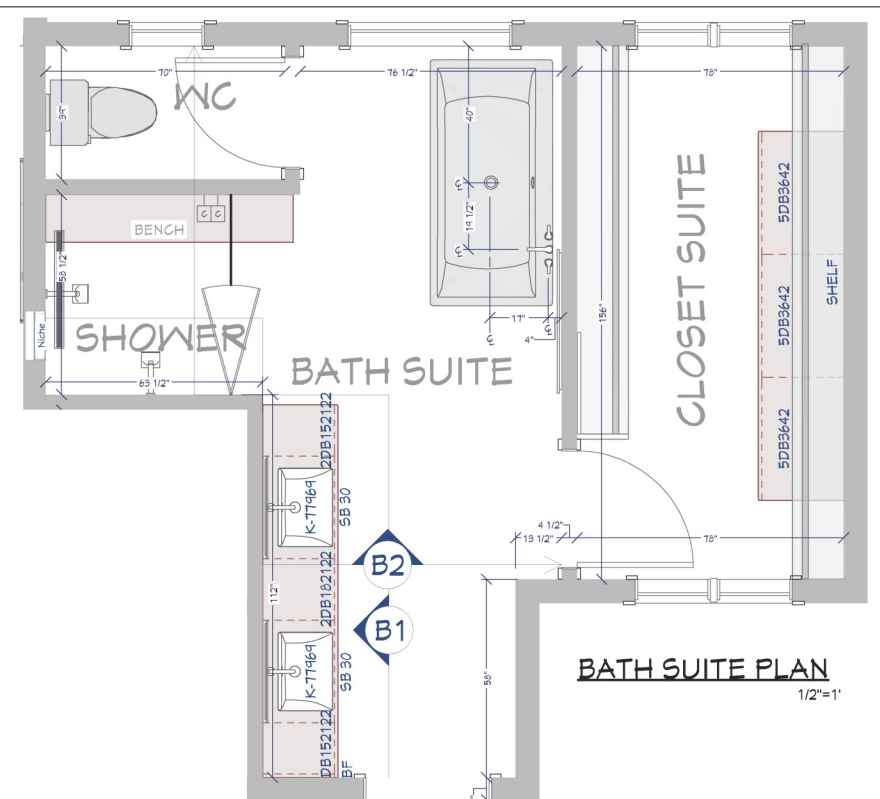
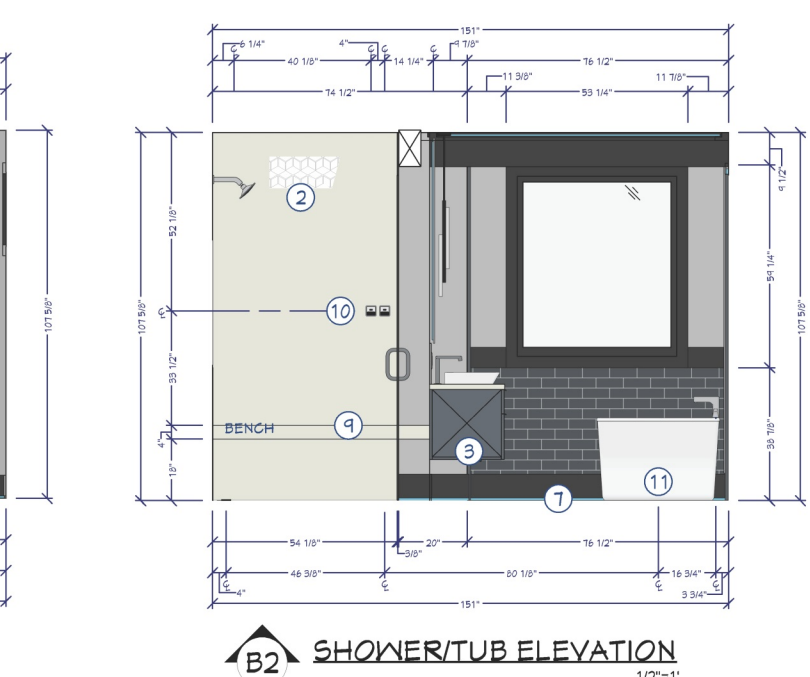
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BATH CABINET SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY
1	COOK HOOD	1
2	GAS COOK RANGE	1
3	REF	1
4	HOT FILLER	1
5	STD. TEMPERED GLASS	1
6	PAN PULLOUT DRAWER	1
7	VINE REF.	1
8	COFFEE STATION	1
9	FAUCET & SOAP DISPENSER	1
10	WHITE PULLOUT	1
11	TIE HOLED	1
12	BUTT JOINT	1
13	HIDDEN LINE UP CABINET BOXES	1
14	DEPTH GUESS SETTING IN 30" TO FACE BACK WALL	1
15	POPUP VENTILATION	1



BATH SUITE RENDER
FOR ILLUSTRATION ONLY
NO SCALE



- BATH NOTES**
1. BACKSPLASH TO MATCH COUNTERTOP
 2. SURFACE TO MATCH COUNTERTOP
 3. CUSTOM VANITY, FLOATING
 4. LED WIRECLO
 5. LED IN CEILING HOLDING
 6. PENDANT LIGHTS, CONFIRM HEIGHT WITH HOMEOWNER
 7. LED BELOW BASEBOARD
 8. NICHE IN GLASS SHELF
 9. SHOWER BENCH
 10. SHOWER CONTROLS
 11. FREE STANDING TUB
 12. LED OUTLET

BATH SUITE FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY
1	COOK HOOD	1
2	GAS COOK RANGE	1
3	REF	1
4	HOT FILLER	1
5	STD. TEMPERED GLASS	1
6	PAN PULLOUT DRAWER	1
7	VINE REF.	1
8	COFFEE STATION	1
9	FAUCET & SOAP DISPENSER	1
10	WHITE PULLOUT	1
11	TIE HOLED	1
12	BUTT JOINT	1
13	HIDDEN LINE UP CABINET BOXES	1
14	DEPTH GUESS SETTING IN 30" TO FACE BACK WALL	1
15	POPUP VENTILATION	1

SHEET NUMBER
17

SCALE @ 24" X 36"
DATE:
DRAWN BY: SH

BATH SUITE PLAN & ELEVATIONS

1910 E GRANDVIEW DR.
PEAK RENOVATION

Chief Architect®
6500 N. Mineral Dr. Coeur d'Alene, ID 83815
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WINDOW SCHEDULE

SP EXTERIOR ELEVATION	NUMBER	TYPE	PTH	WIDTH	HEIGHT	ISO	DESCRIPTION
1	W1-01	SINGLE HOPPER	1	22"	22"	23"X23"	
2	W1-02	MULLED UNIT	1	46"	22"	47"X23"	
3	W1-03	MULLED UNIT	1	10"	22"	71"X23"	
4	W1-04	MULLED UNIT	1	144"	72"	145"X73"	
5	W1-05	FIXED GLASS	1	46"	54"	49"X55"	

DOOR SCHEDULE

SP EXTERIOR ELEVATION	NUMBER	PTH	WIDTH	HEIGHT	DESCRIPTION
1	D1-01	2	32"	76"	HINGED DOOR P03
2	D1-02	1	34"	76"	HINGED DOOR P03
3	D1-03	2	36"	76"	EXT. BARN DOOR P03
4	D1-05	1	36"	76"	HINGED DOOR P03
5	D1-06	1	72"	76"	EXT. DOUBLE HINGED GLASS PANEL

P2 PROPOSED KITCHEN
NO SCALE

P3 PROPOSED BATH
NO SCALE